



GARAGES

Attached & Detached

Building Permits are required for ALL garages

This handout provides information to assist you in building a new attached or detached garage in single- and two-family residential areas in Richfield.

Size and number

- A. **Maximum allowable area** of a garage, attached or detached is 1,000 square feet. Maximum allowable area of ALL accessory buildings combined is 1,200 square feet. Attached, detached, or a combination of both may not exceed the foundation footprint of the house.
- B. **Maximum lot coverage** (includes all roofed structures) may not exceed 35 percent of the total lot area.
- C. **Maximum impervious surface coverage** (includes roofed structures and any surface that is compacted or covered with a material so as to be highly resistant to water infiltration such as driveways and patios) may not exceed 45% of the total lot area.
- D. **No more than ONE** detached garage may be on any lot.

Setback requirements

Attached Garages

*(*Note:Special Circumstances below)*

	<u>R District</u>	<u>R-1 & MR-1</u>
Minimum setback from front property line:	30 ft.	30 ft.
Minimum setback from rear property line:	25 ft.	25 ft.
Minimum setback from side property line (interior lot):	5 ft.	10 ft.
Minimum setback from side property line (corner lot):	12 ft.	15 ft.

Detached Garages

*(*Note:Special Circumstances below)*

	<u>R District</u>	<u>R-1 & MR-1</u>
Minimum setback from front property line:	30 ft.	30 ft.
Minimum setback from rear property line:	3 ft.	3 ft.
<i>(note that a utility easement of 5 feet may apply on some properties)</i>		
Minimum setback from side property line (interior lot):	5 ft.	10 ft.
Minimum setback from side property line (corner lot):	12 ft.	12 ft (R-1) 15 ft (MR-1)

PLANNING & ZONING
RICHFIELD COMMUNITY
DEVELOPMENT
DEPARTMENT

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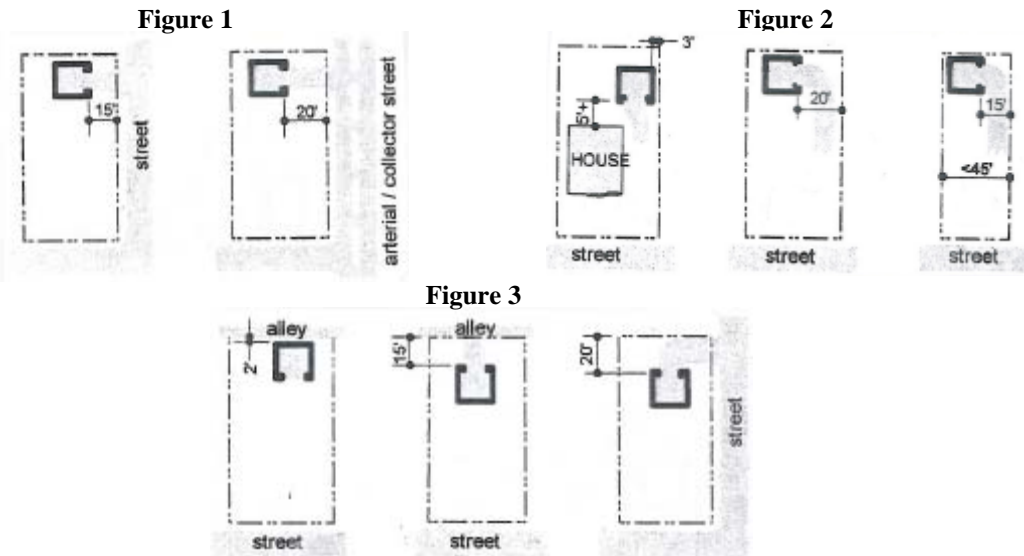
ZONING CODE
SECTION 547.13

BUILDING CODE
SECTION xxx.xx

1/2008

***Special Circumstances**
Garage Setback Exceptions

- If a vehicle access door faces a side or rear lot line, such side or rear setback shall be 20 feet (Figure 3), EXCEPT:
 - A. If the access door faces a side lot line that abuts a non-arterial or non-collector street, the side setback can be reduced to 15 feet (Figure 1); or
 - B. If the access door faces a rear lot line that abuts an alley, the rear setback can be reduced to 15 feet (Figure 3); or
 - C. If the lot is less than 45 feet wide and the access door faces an interior side lot line, the side setback can be reduced to 15 feet (Figure 2).
- If a detached garage is located entirely 5 feet or more beyond the rear of the principal building, the interior setback can be reduced to 3 feet (Figure 2).
- If alley access is provided at the rear of the property (and there is no utility easement), the rear setback for a detached garage can be reduced to 2 ft. (Fig.3).
- Roof overhangs (eave projection) shall be no less than 2 feet from any lot line.
- No detached garage may be located in forward of the principal building line.



Height Requirements

Garage heights are measured on the side of the building with the vehicle door.

Attached Garages

<u>R District</u>	<u>R-1 District</u>	<u>MR-1 District</u>
25 ft.	35 ft.	25 ft.

Detached Garages

Detached garages are limited to one story. The height of any storage area above the parking area is limited to 6 feet.

<u>R District</u>	<u>R-1 District</u>	<u>MR-1 District</u>
14 ft.	14 ft.	25 ft.

Required Inspections

- A. **Footing or concrete slab**—To be made after all form work is set and any required reinforcement is in place **but prior to the pouring of the concrete**.
- B. **Framing**—To be made after framing is complete and other required rough-in inspections are completed and approved.
- C. **Final**—To be made upon completion.
- D. **Other inspections**—In addition to the inspections above, the inspector may make or require other inspections to ascertain compliance with the provisions of the code or to assist you with your questions or concerns during the construction process.

General Building Code Requirements

The 2007 Minnesota State Building Code adopts the 2006 International Residential Code (2006 IRC). All "R" code references provided in this handout pertain to the 2006 IRC.

- A. Footings must extend to frost depth for all attached garages. A "floating slab" may be used for the foundation support of detached garages on all soils except peat and muck. The slab perimeter must be sized and/or reinforced to carry all design loads. The minimum-slab thickness must be 3 - 1/2 inches and reinforcing is recommended. The minimum concrete strength required is 3500-pounds-per-square-inch for floating slab. Protect concrete from freezing until cured.
- B. Anchor bolts or straps: Foundation plates must be anchored to the foundation with not less than 1/2 inch diameter steels bolts, or approved straps, embedded at least 7 inches into the concrete and spaced no more than 6 feet apart. There must be a minimum of 2 bolts for each piece of sill plate with 1 bolt located within 12 inches of each end of each piece of sill plate. Anchor straps must be installed according to manufacturer's specifications.
- C. Sill plate: All foundation sill plates must be approved pressure-preservative-treated wood, heartwood of redwood, black locust or cedar.
- D. Wall framing: Studs must be placed with their wide dimension perpendicular to the wall and not less than three studs must be installed at each corner of an exterior wall. Minimum stud size is 2 inches by 4 inches and spaced not more than 24 inches on center.
- E. Top plate: Bearing and exterior wall studs need to be capped with double-top plates installed to provide overlapping at corners and at intersections with other partitions. End joints in double-top plates must be offset at least 24 inches.
- F. Sheathing, roofing and siding: Approved wall sheathing, siding, roof sheathing and roof covering must be installed according to the manufacturer's specifications. Wall sheathing may be required to have a weather-resistive barrier installed over the product prior to application of the siding product.
- G. Wood and earth separation: Wood used in construction located nearer than six inches to earth shall be treated wood.
- H. Roof framing: Size and spacing of conventional lumber used for roof framing depends upon the roof pitch, span, the type of material being used and the loading characteristics being imposed. Garages must be designed for the appropriate snow load in this area (50lbs per square foot).

Rafters need to be framed directly opposite each other at the ridge. A ridge board at least one inch (nominal) thickness and not less in depth than the cut end of the rafter is required for hand-framed roofs. At all valleys and hips, there also needs to be a single valley or hip rafter no less than two inches (nominal) thickness and not less in depth than the cut of the rafter. Valley needs to be designed as a beam. Rafters must be nailed to the adjacent ceiling joist to form a continuous tie between exterior walls when the joists are parallel to the rafters. Where not parallel, rafters must be tied by a minimum one inch by four inch (nominal) cross tie spaced a maximum four foot on center. Manufactured trusses are to be installed per the manufacturer.

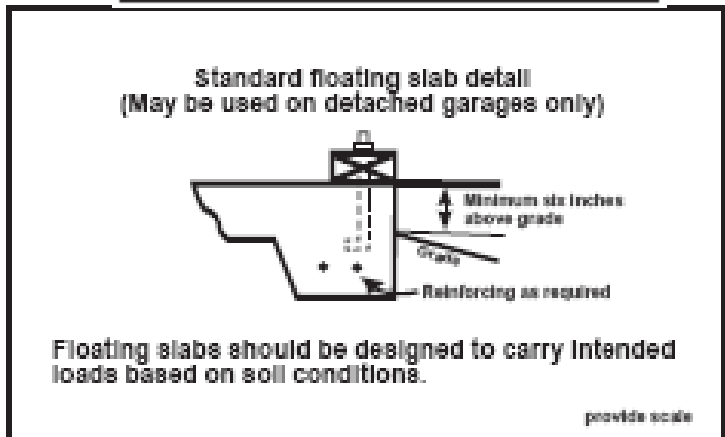
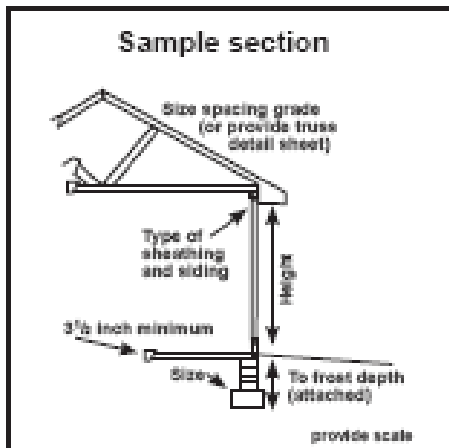
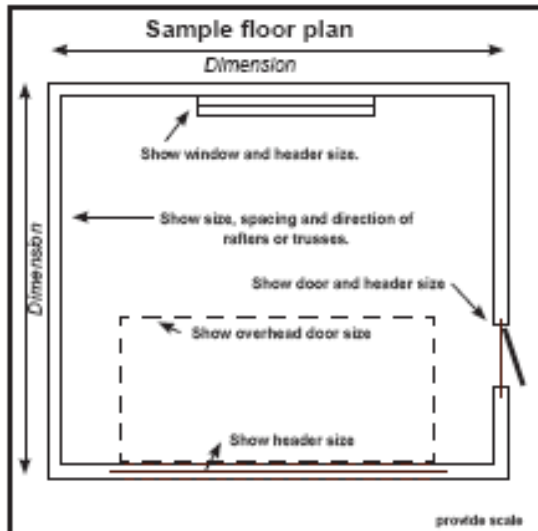
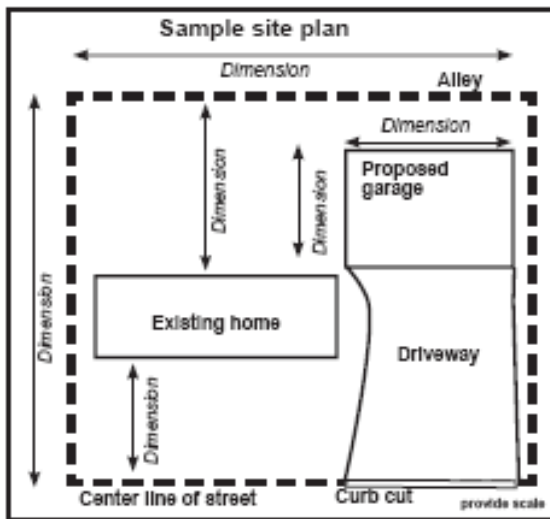
- I. Separation required: An attached garage shall be separated from the residence and its attic area by not less than 1/2-inch (12.7 mm) gypsum board applied on the garage side. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall be protected by not less than 5/8-inch (15.9 mm) type "X" gypsum board or equivalent.
- J. Concrete curb block: Concrete masonry curb blocks shall be at least six-inch-modular width (four-inch-curb blocks are not permitted by code).

Fire Separation:

- A. Exterior walls located less than 5 feet from property line required to have one-hour fire-resistance rating. (with exposure from both sides)
- B. Projections (soffits or overhang) located less than 5 feet from property line required to have one-hour rating on underside.

The diagrams on the following page show the minimum detail expected on site, floor and elevation plans to ensure the permit process proceeds smoothly. Additional information, such as sectional drawing or elevations, may be required. The plans should include the following information:

1. Proposed size of garage.
2. Location and size of door and window openings.
3. Size of headers over all door and window openings.
4. Size, spacing and direction of rafter (roof) materials.
5. Type (grade and species) of lumber to be used.
6. Braced wall panels per R602.10.



Questions? Need an inspection?

Contact the City of Richfield, Building and Inspection Division
6700 Portland Avenue
Richfield, MN. 55423

612-861-9860 ♦ Fax 612-866-0297

This is a guide to the most common questions and problems. It is not intended nor shall it be considered a complete set of requirements